	SHEET INDEX
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT AND SEDIMENT CONTROL PLAN
3	SEDIMENT CONTROL NOTES, DETAILS AND PROFILES
4	BOX CULVERT EXTENSION DETAILS

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS M.S.H.A. STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 2. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 3. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- 4. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF CONSTRUCTION INSPECTION AT (410) 313-1880 24 HOURS IN ADVANCE OF COMMENCING WORK.
- 5. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY
CAMP TELEPHONE COMPANY
HOWARD COUNTY BUREAU OF UTILITIES
AT&T CABLE LOCATION DIVERSION
BALTIMORE GAS & ELECTRIC COMPANY
STATE HIGHWAY ADMINISTRATION

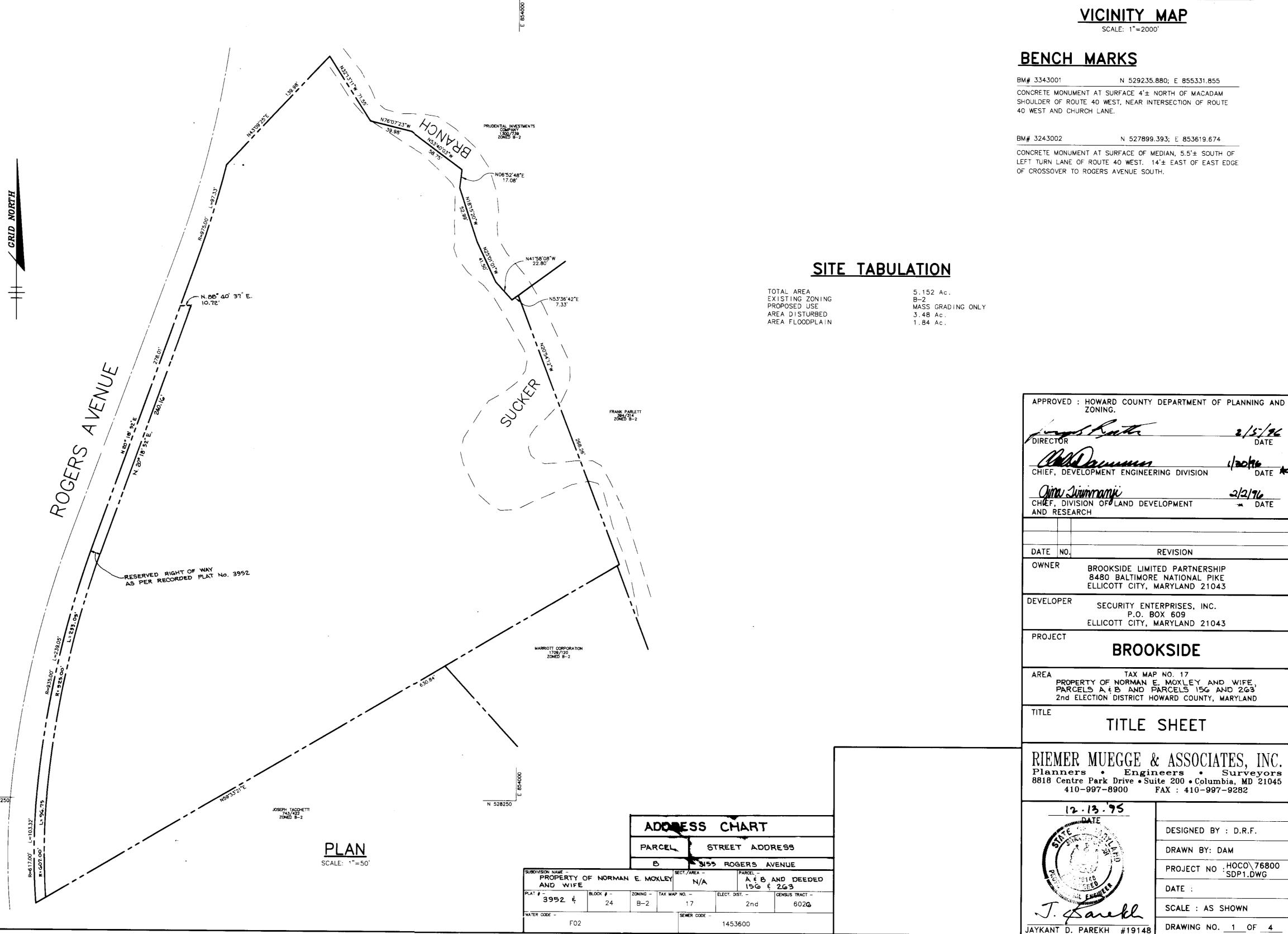
-800-257-7777 725-9976 313-4900 393-3553 685-0123

- 6. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 7. TOPO AND EXISTING UTILITIES SHOWN TAKEN FROM FIELD RUN SURVEY DATED MAY, 1989, BY TRACEY, SCHULTE & ASSOCIATES.
- 8. VERTICAL CONTROL ESTABLISHED USING HO. CO. MONUMENT BM# 3343001 AND BM#3243002 HORIZONTAL CONTROL ESTABLISHED FROM MARYLAND STATE COORDINATE SYSTEM.
- 9. PREVIOUS COUNTY FILE NO.: F-77-161, F-89-108, WP-88-146, WP-90-64, WP-91-186, WP-92-214, F-91-159 AND SDP-91-123.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS—OF—WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- 12. ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.

 13. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE
- 14. STORM DRAIN TRENCHES WITHIN ROAD RIGHT-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL, VOLUME IV, i.e., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, 1990 AMENDMENTS.
- PIPE SHALL NOT BE INSTALLED BY CONTRACTOR UNTIL LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY ENGINEER IN FIELD.
- 16. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION.
- 17. ALL PIPE ELEVATIONS SHOWN ARE INVERT _____ ELEVATIONS.
- 18. PROFILE STATIONS SHALL BE ADJUSTED AS NECCESSARY TO CONFORM TO PLAN DIMENSIONS.
- 19. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAS BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- 20. ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS "C" AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- 21. 100 YR. FLOODPLAIN STUDY WAS PERFORMED BY PURDUM & JESCHKE DATED DECEMBER, 1980.
- 22. WETLAND STUDY PERFORMED BY JOHN HARMES & ASSOCIATES, DATED MARCH 1988.
- 23. WP-90-64 WAS A REQUEST FOR WAIVERS FROM SECTION 16.116.C.4
 AND SECTION 16.116.C.6 OF THE HOWARD COUNTY SUBDIVISION AND
 LAND DEVELOPMENT REGULATIONS WHICH WOULD ALLOW STEEP
 SLOPE DISTURBANCE ADJACENT TO WETLANDS AND TO ALLOW
 FILLING OF WETLANDS, WAS APPROVED IN A LETTER DATE 5-29-90.
- 24. WP-91-146 WAS A WAIVER REQUESTING TO WAIVE SECTION 16.119 AND SECTION 16.120 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH WOULD EXEMPT FROM SUBMITTING A SKETCH AND PRELIMINARY PLANS, WAS APPROVED ON SEPTEMBER 2, 1988.
- 25. WP-91-186 WAS A WAIVER REQUESTING TO WAIVE SECTION 16.103(C) FOR THE REACTIVATION OF WAIVER PETITION WP-88-146 (SKETCH AND PRELIMINARY PLANS WAIVER) AND WAIVER PETITION WP-90-64 (DISTURBANCE AND FILL OF A 0.03 +\- ACRE AREA OF WETLANDS AND ADJACENT WETLAND BUFFER), WAS APPROVED BY LETTER DATED JUNE 26, 1991 WITH FOUR CONDITIONS.
- 26. WP-92-214 WAS A WAIVER REQUESTING TO WAIVE SECTION 16.147(2) WHICH REQUIRED THE DEVELOPER TO SUBMIT FOR SIGNATURE WITHIN ONE(1) YEAR OF THE DEVELOPERS INITIAL APPLICATION FOR SITE DEVELOPMENT PLAN APPROVAL WAS GRANTED BY EXTENDING ANOTHER ONE YEAR EXTENSION BY LETTER DATED AUGUST 7,1992, SUBJECT TO THREE (3) CONDITIONS.
- 27. CONTRACTOR IS SOLEY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- 28. A WETLANDS PERMIT HAS BEEN OBTAINED FOR THE DISTURBANCE WITHIN THE WETLANDS. MARYLAND DEPARTMENT OF THE ENVIRONMENT WATER QUALITY CERTIFICATION NO. 89-WQ-0102. ARMY CORP'S OF ENGINEER PERMIT NO. 88-03361-13.
- 29. WP-95-131 IS A WAIVER REQUESTING TO WAIVE SECTION 16.116(a)(1) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE WAIVER WILL ALLOW THE STORM DRAIN OUTFALL FOR THIS SITE TO BE BUILT WITHIN THE 25' WETLAND BUFFER AND WETLANDS. THE WAIVER IS ONLY VALID FOR THE STORM DRAIN OUTFALL.

SITE DEVELOPMENT PLAN BROOKSIDE

2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND



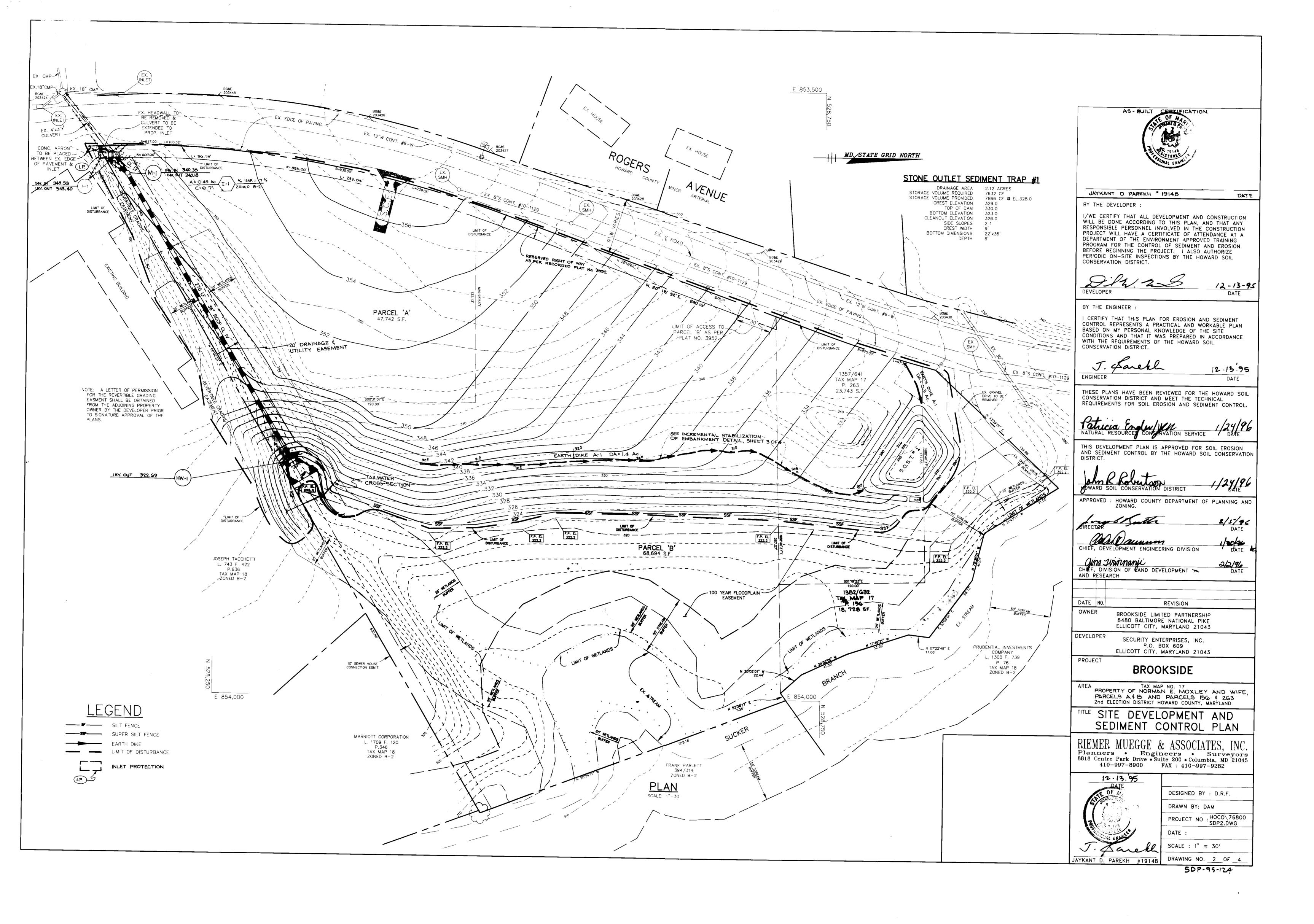
TOWN & COUNTRY BLVD.

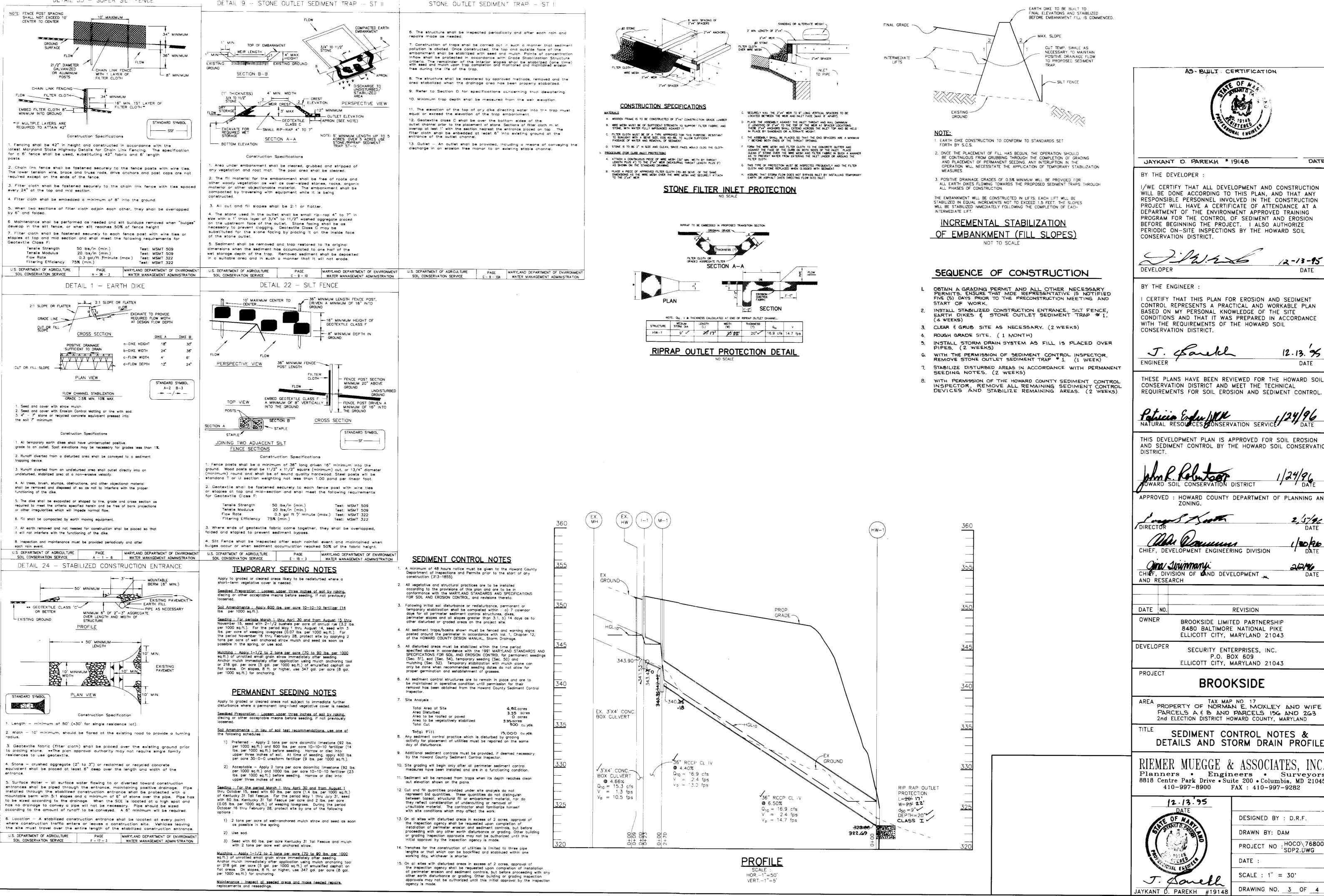
SITE

BM#3343002

BM#3243002

50P-95-124





DETAIL 33 - SUPER SILT FENCE

12.13.95 DATE

DATE

12-13-95

DATE

DATE

BORB

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND

CHIEF, DEVELOPMENT ENGINEERING DIVISION CHIEF. DIVISION OF LAND DEVELOPMENT

> REVISION BROOKSIDE LIMITED PARTNERSHIP

8480 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21043

SECURITY ENTERPRISES, INC. P.O. BOX 609 ELLICOTT CITY, MARYLAND 21043

BROOKSIDE

TAX MAP NO 17
PROPERTY OF NORMAN E. MOXLEY AND WIFE PARCELS A & B AND PARCELS 156 AND 263 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL NOTES & DETAILS AND STORM DRAIN PROFILES

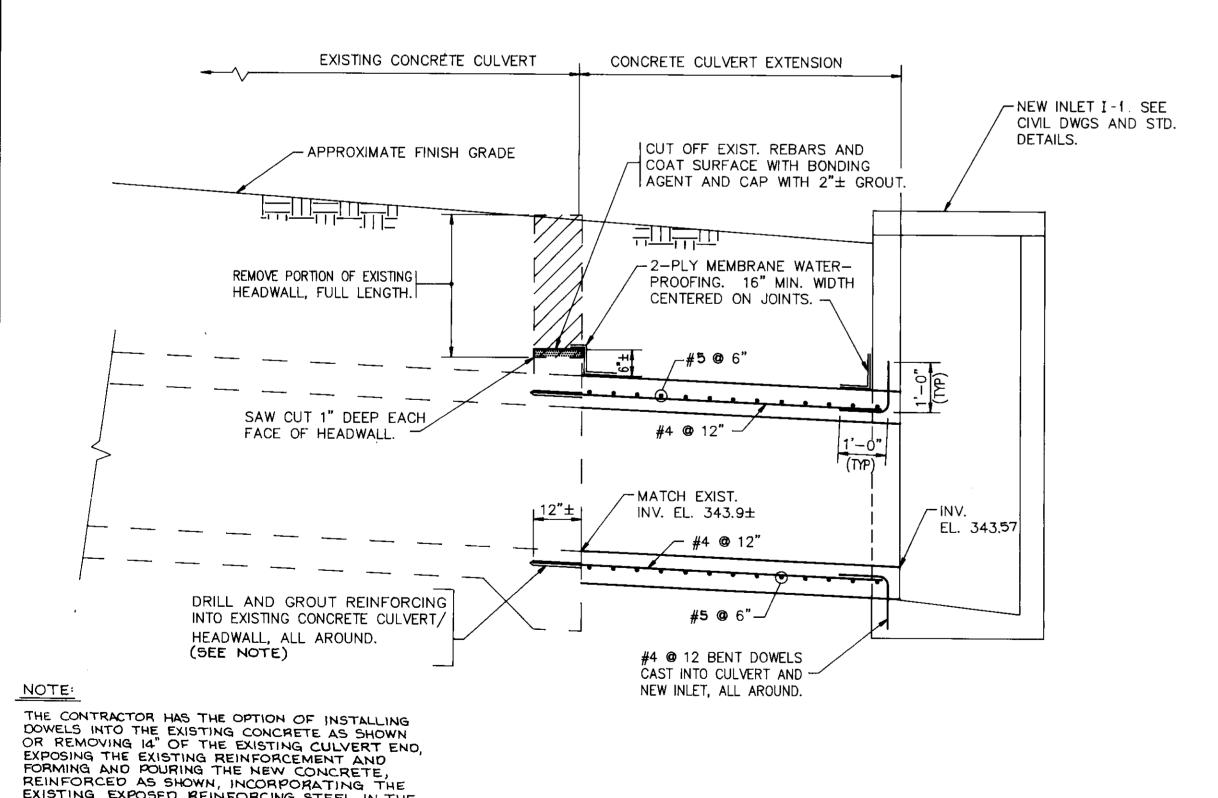
RIEMER MUEGGE & ASSOCIATES, INC. Planners • Engineers • Surveyors 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045 410-997-8900 FAX: 410-997-9282

> DESIGNED BY : D.R.F. DRAWN BY: DAM PROJECT NO : HOCO 76800 SDP2.DWG DATE : SCALE : 1" = 30"DRAWING NO. 3 OF 4

> > 50P-95-124

Q NEW INLET I -1. SEE CIVIL DWGS. AND STD. DETAILS. — EXISTING CONCRETE HEADWALL. REMOVE TOP PORTION OF WALL. SEE SECTION A-A. STA. 0+1.25± | NEW CAST-IN-PLACE EXISTING CONCRETE CULVERT CONCRETE CULVERT EXTENSION

PLAN-CULVERT EXTENSION SCALE: 1/2"=1'-0"



SECTION A-A

SCALE: 1/2"=1'-0"

EXISTING EXPOSED REINFORCING STEEL IN THE NEW CONCRETE POUR. ALL JOINTS AT TOP AND

TRANSITION.

SIDES OF CULVERT SHALL HAVE 2-PLY MEMBRANE WATERPROOFING IG" MINIMUM WIDTH CENTERED WITH JOINT, LIMITS OF REMOVAL. SHALL BE SAW CUT I" DEEP TO CREATE STRAIGHT

SECTION B-B SCALE: 1/2"=1'-0"

GENERAL NOTES-CULVERT EXTENSION

HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION AND SHA SPECIFICATIONS DATED JANUARY, 1993 REVISIONS THEREOF AND ADDITIONS THERETQ.

> AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES DATED 1992 FOR DESIGN INCLUDING ALL INTERIM SPECIFICATIONS THROUGH 1993.

LOADING: HS-25.

CONCRETE: ALL CONCRETE FOR BOX CULVERT EXTENSION SHALL BE MIX NO. 3(3500 PSI).

REINFORCING STEEL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. ALL SPLICES NOT SHOWN SHALL BE LAPPED 40 BAR DIAMETERS. MINIMUM COVER FOR ANY

BAR SHALL BE 2" UNLESS NOTED OTHERWISE.

ALL KEYS ARE NOMINAL SIZE.

CONCRETE DESIGN: SERVICE LOAD DESIGN METHOD. Fc = 1200 PSI, Fs = 24000 PSI

EXISTING STRUCTURE:

ALL DIMENSIONS AFFECTED BY THE GEOMETRICS, AND/OR LOCATION OF THE EXISTING CULVERT SHALL BE CHECKED IN THE FIELD BY THE CONTRACTOR, BEFORE ANY CONSTRUCTION IS DONE, AND BEFORE ANY REINFORCING STEEL, ETC., IS ORDERED OR FABRICATED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY THE ENGINEER WITH ALL FIELD DIMENSIONS REQUIRED TO CHECK DETAIL DRAWINGS. THE ± MARKS SHOWN WITH DIMENSIONS AND STATIONS DO NOT INDICATE ANY DEGREE OF PRECISION. THESE MARKS (±) INDICATE EXISTING DIMENSIONS AND STATIONS THAT MAY VARY AND DO REQUIRE FIELD VERIFICATION BY THE CONTRACTOR.

EXISTING STRUCTURE SHOWN IN LONG DASHED LINES.

PORTIONS OF EXISTING STRUCTURE SHOWN HATCHED, TO BE REMOVED

COVER FOR CONCRETE CULVERT: NO CONSTRUCTION EQUIPMENT SHALL BE PERMITTED TO PASS OVER THE CULVERT UNTIL A MINIMUM OF 3 FT. OF COMPACTED FILL HAS BEEN PLACED

OVER THE CULVERT.

